
Karuk Community Health Clinic

64236 Second Avenue
Post Office Box 316
Happy Camp, CA 96039
Phone: (530) 493-5257
Fax: (530) 493-5270

Karuk Tribe

**Administrative Office**

Phone: (530) 493-1600 • Fax: (530) 493-5322
64236 Second Avenue • Post Office Box 1016 • Happy Camp, CA 96039

Karuk Dental Clinic

64236 Second Avenue
Post Office Box 1016
Happy Camp, CA 96039
Phone: (530) 493-2201
Fax: (530) 493-5364

Request for Proposals

21-RFP-010

For More Information: Contact – Ryan Hammer (530) 598-8249 Email: rhammer@karuk.us

Recommended Site Visit: Contact Ryan Hammer to schedule

Proposal Deadline: February 5th, 2021 no later than 5:00 p.m. (PST)

The Karuk Tribe requests proposals for the following Scope of Work required for the design of additional space for the Anavkaam Center located at 64236 Second Ave. Happy Camp, Ca 96039. A preliminary design will be available to potential bidders for review and bidding purposes. The design of this project will include the renovation and addition specifications for the existing 3,200sqft structure as well as the 2,200sqft (approx.) of proposed additional office, training and restroom space located on the West side of the existing facility. The proposed addition will require a redesign of the surrounding parking lot, to maximize available parking and handicap accessibility, as well as a new outdoor pavilion/common area between the proposed addition and the existing Medical Billing modular. *Selected Contractor will be responsible for printed and digital copies of 60%, 90% and 100% design documents, including all specifications, schematics, schedules, cost estimates and pay application reviews necessary for the construction phase of this project.* Designs will follow all Fire codes and ADA requirements as well as Federal building codes, as this project is located on Tribal land.

Task One – Renovation Design

The basic design of the renovation is outlined in the preliminary drawings. This concept is specific to our vision of the finished product, but can change in the interest of efficiency and/or cost savings with Owner approval. The finishes, fixtures and equipment schedules will be approved by Tribal Representative(s).

Task Two – Addition Design

The basic design of the additional space, to be added to the existing structure, is outlined in the preliminary drawings. This concept is specific to our vision of the finished product, but can change in the interest of efficiency and/or cost savings during the design phase with Owner approval. The finishes, fixtures and equipment schedules will be approved by Tribal Representative(s). Sound dampening material will be used in the walls that separate the existing facility from the addition.

Task Three – Parking lot and Outdoor pavilion design

The basic design of the renovation is outlined in the preliminary drawings. This concept is specific to our vision of the finished product, but can change in the interest of efficiency and/or cost savings with Owner approval. The finishes, fixtures and equipment schedules will be approved by Tribal Representative(s). The Civil portion of the design will include grade elevations with drainage, fencing and underground utility connections.

Responses to this Request for Proposals should include the following:

- 1) A statement of qualifications, including relevant project history.
- 2) A proposed approach and rationale for completion of the contract tasks described above, including descriptions of similar work previously completed and the results/benefits achieved.
- 3) A lump sum price, with attached price break-down page.
- 4) Names and telephone numbers of three client references.

**Responses must be hand, mail, or email delivered by Friday February 5th, 2021 no later than 5:00 p.m. (PST)
to:**

Emma Lee Perez, Contract Compliance Specialist
Karuk Tribe – Administration Office
64236 Second Avenue
P.O. Box 1016
Happy Camp, CA 96039
Faxes will not be accepted
Emails will be accepted at: emmaleeperez@karuk.us

Price Page for 21-RFP-010:

Proposal Submitted by:

Name: _____ **Phone Number:** _____

E-mail: _____ **Fax Number:** _____

Amount requested to be compensated for each task:

- Task: _____
- Task: _____
- Task: _____

List previous experience:

List up to three references with phone numbers below:

- 1) _____
- 2) _____
- 3) _____

Other Comments:

Indian Preference will apply in the selection process in accordance with the Indian Preference Act of 1934 (Title 25, USC, Section 47) and/or the Tribal Employment Rights Ordinance (TERO), based on funding source requirements.

All contracts that exceed \$2,500.00 shall be subject to a two percent (2%) Tribal Employment Rights Fee in accordance with the TERO Ordinance.

If applicable, construction contracts in excess of \$2,000, when required by Federal grant program legislation, are subject to compliance with the Davis-Bacon Act (40 USC 276a to a-7) as supplemented by Department of Labor regulations (29 CFR part 5).

PROPOSED RENOVATION AND ADDITION FOR:

KARUK TRIBE "OLD GYM" BUILDING

64236 SECOND AVE
HAPPY CAMP, CA 96039

PROJECT NUMBER: 19-3410

PROJECT TEAM

OWNER: THE KARUK TRIBE
64236 SECOND AVE
HAPPY CAMP, CA 96039

ARCHITECT: C&S DESIGN & ENGINEERING, INC.
2023 6th STREET WEST
ASHLAND, WI 54806
P: 715-682-0330

STRUCTURAL ENGINEER:

CONSULTANT: N/A

PLUMBING DESIGNER: N/A

HVAC ENGINEER: N/A

ELECTRICAL ENGINEER: N/A

PROJECT DATA

GENERAL NOTES

- THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.
- ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.N.O.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE ARISEN FROM, THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL PRODUCTS AND MANUFACTURERS OF MATERIALS/FINISHES ETC PER ARCHITECTURAL DRAWINGS OR SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.
- ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS. LOCATED PER PLAN.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
- THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.
- ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
- ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
- THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE DONE PRIOR TO BREAKING OF GROUND.
- THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
- ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
- PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.N.O.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK, JOIN MATERIALS TO UNIFORM ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS, INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.
- ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.
- ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.N.O.
- SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.
- SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.
- IF APPLICABLE, THE FIRE RATINGS OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC).
- THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.
- THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.
- CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.
- CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.
- REFERENCE ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPERATIONS.
- REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
- ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54-2015, NATIONAL FUEL GAS CODE.

INDEX TO DRAWINGS

| | |
|-------|---------------------|
| ATS | TITLE SHEET |
| AD100 | AS-BUILT FLOOR PLAN |
| AD101 | AS-BUILT ELEVATIONS |
| C100 | NEW SITE PLAN |
| A100 | NEW FLOOR PLAN |
| A200 | NEW ELEVATIONS |
| A201 | NEW ELEVATIONS |
| A300 | NEW CROSS SECTION |

SYMBOLS

| | |
|-------------------|--|
| 1 | KEY NOTE |
| 3:12 | ROOF SLOPE & DIRECTION |
| H | WINDOW TAG |
| 100 | DOOR TAG |
| SLOPE: | SLOPE OF SLAB |
| A # A#.# B C | INTERIOR ELEVATION TAG |
| +1" | STEP/ELEVATION CHANGE |
| T.O. SLAB 106'-0" | ELEVATION MARKER |
| A | WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO) |
| 4 12 | ROOF SLOPE |
| 1.0 | GRID LINE |
| 1 A200 | BUILDING ELEVATION |
| 1 A300 | BUILDING SECTION |
| 1 A401 | WALL SECTION |
| 1 A400 | DETAIL/ENLARGED PLAN CALLOUT |
| 1 A500 | DETAIL CALLOUT |

STANDARD ABBREVIATIONS

| | | | | | | | | | | | |
|---|---------|---------------------------------|--------|--|----------|----------------------|--------|------------------------|--------|--------------------------|-----------|
| ABOVE FINISH FLOOR | A.F.F. | CONTRACTOR | CONTR. | FIRE EXTINGUISHER | F.E. | JANITOR | JAN. | OVERFLOW DRAIN | O.F.D. | STEEL | STL. |
| ACOUSTICAL CEILING TILE | ACT. | FIRE EXTINGUISHER CONTROL JOINT | C.J. | FIRE RATED | F.R. | JOINT | JST | PAINT | PT. | STORAGE | STOR. |
| ADDITIONAL | ADD. | COURSES | CRS. | FIXTURE | FX. | PAINTED | PTD. | STRUCTURAL | STR. | STRUCT | STRUC.T |
| ADJUSTABLE | ADJ. | CUBIC FOOT (AGE) | CF | FLASHING | FLASHG | LAMINATED | LAM. | PANEL | PNL. | SUSPEND (ED) | SUSP. (D) |
| ALIGN WITH BELOW | A.W.B. | DETAIL | DET. | FLOOR | FLR. | LAVATORY | LAV. | PARTITION | PTN. | TELEPHONE | TEL. |
| ALTERNATE | ALT. | DIAMETER | DIA. | FLOORING | FLRG | PERFORATED | PERF. | PLASTIC LAMINATE | PLAM. | THERMOPLASTIC POLYOLEFIN | TPO |
| ALUMINUM | ALLM. | DIMENSION | DIM. | FLOOR PLAN | FLP. | PLATE | PL. | THICKNESS | THK. | | |
| AMERICAN DISABILITIES ACT APPROXIMATELY | ADA | DISPENSER | DISP | FOOTING | FTG. | LINE | LN. | POLYVINYL CHLORIDE | PVC | TOP OF | T.O. |
| | APPROX. | DR | DR | FOUNDATION | FDNT. | LINOLEUM | LINO. | POUNDS PER SQUARE INCH | PSI | TOP OF CONCRETE | T.O.C. |
| | | DN | DN | FLUORESCENT | FLUR | LONG LEG HORIZONTAL | LLH | PRESERVATIVE TREATED | P.P. | TOP OF FOOTING | T.O.F. |
| | | D.W.G. (S) | D.W.G. | GALVANIZED | GALV. | LONG LEG VERTICAL | LLV | PROPERTY | PROP. | TOP OF RAIL | T.O.R. |
| | | D.F. | D.F. | GENERAL CONTRACTOR | G.C. | LOW POINT | L.P. | QUANTITY | QTY. | TOP OF STEEL | T.O.S. |
| | | D.F. | D.F. | GAUGE | GA. | MANUFACTURER | MFR. | QUARRY TILE | Q.T. | TOP OF WALL | T.O.W. |
| | | EA | EA | GLASS | GL. | MASONRY | MAS. | TREAD | TRT. | TYPICAL | TYP. |
| | | ELEC. | ELEC. | GYPSUM | GYP. | MASONRY OPENING | M.O. | TREATED | TRE. | T.D. | T.D. |
| | | ELEV. | ELEV. | GYPSUM WALLBOARD | GWB. | MATERIAL | MAT. | TRENCH DRAIN | TRD. | UNDERWRITERS | U.L. |
| | | EL. | EL. | HANDICAP ACCESSIBLE | H.C. | MAXIMUM | MAX. | REINFORCING | REINF. | LABORATORIES | L.A. |
| | | ENCL. | ENCL. | HARDWARE | HDW. | MECHANICAL | MCH. | REQUIRED | REQD. | UNLESS NOTED OTHERWISE | U.N.O. |
| | | EQ. | EQ. | HVAC | HVAC | MEMBRANE | MEMB. | RESILIENT FLOORING | RFL. | | |
| | | EQ. | EQ. | HEATING, VENTING, AND AIR CONDITIONING | H.V.A.C. | METAL | MTL. | RETURN AIR | RA. | | |
| | | EQUIP. | EQUIP. | HEIGHT | HGT. | MINIMUM | MIN. | REVISION | REV. | | |
| | | EXH. | EXH. | HOLLOW CORE | H.C. | MISCELLANEOUS | MISC. | ROOF DRAIN | R.D. | | |
| | | EXH. | EXH. | HOLLOW METAL | H.M. | MOUNTED | MTD. | ROOM | RM. | | |
| | | EXP. | EXP. | HORIZONTAL | H.O.R. | NOT APPLICABLE | N.A. | ROUGH OPENING | R.O. | | |
| | | EXT. | EXT. | HOUR | HR. | NOT IN CONTRACT | N.I.C. | RUBBER | RUBR. | | |
| | | F.O.C. | F.O.C. | HORIZONTAL | H.O.R. | NOT TO SCALE | N.T.S. | NUMBER | NO. | | |
| | | F.O.F. | F.O.F. | HOUR | HR. | OCCUPANT / OCCUPANCY | O.C.C. | SECTION | SHT. | WATER CLOSET | W.C. |
| | | F.O.M. | F.O.M. | INCH | INCH. | ON CENTER | O.C. | SHEET | SHT. | WATERPROOFING | W.P. |
| | | INCL. | INCL. | INCHES | INCH. | OPENING | OPNG. | SOLID CORE | S.C. | WELDED WIRE FABRIC | W.W.F. |
| | | INS. | INS. | INSIDE DIAMETER | I.D. | OPPOSITE | OPP. | SQUARE | SQ. | WIDE FLANGE | W.F. |
| | | INS. | INS. | INSULATION | INS. | OPPOSITE HAND | O.H. | SQUARE FOOT (AGE) | SF | WINDOW | WDW. |
| | | INT. | INT. | INTERIOR | INT. | OUTSIDE DIAMETER | O.D. | STAINLESS STEEL | STD. | WITHOUT | W/O. |
| | | | | | | | | STANDARD | STD. | WOOD | WD. |



PROJECT LOCATION
HAPPY CAMP, CA

PROPOSED RENOVATION AND ADDITION FOR:
KARUK TRIBE "OLD GYM" BUILDING
64236 SECOND AVE, HAPPY CAMP, CA 96039
TITLE PAGE

DESIGNED: **L.D.**

DRAWN: **A.D.E.**

SCALE: **AS NOTED**

DATE: **JANUARY 2020**

PROJECT NO. **19-3410**

DESIGN & ENGINEERING with framework design inc
2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdengineering.com

DESIGNED: **L.D.**

DRAWN: **A.D.E.**

SCALE: **AS NOTED**

DATE: **JANUARY 2020**

PROJECT NO. **19-3410**

REVISIONS:

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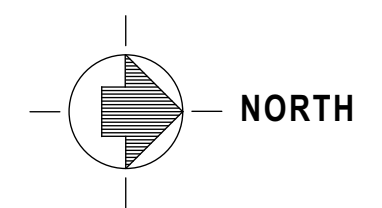
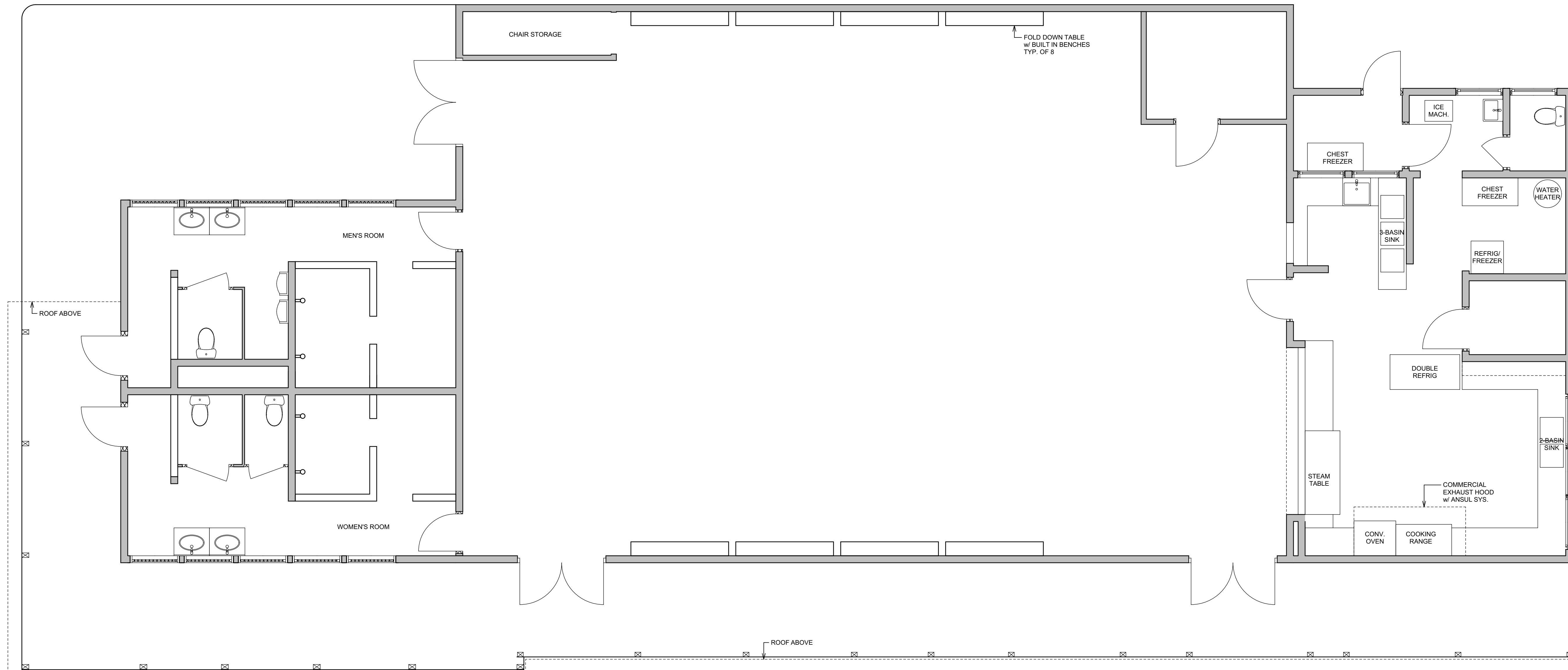
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SHEET NO. **ATS**

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AS-BUILT FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED RENOVATION AND ADDITION FOR:
KARUK TRIBE "OLD GYM" BUILDING
 64236 SECOND AVE, HAPPY CAMP, CA 95039
AS-BUILT FLOOR PLAN

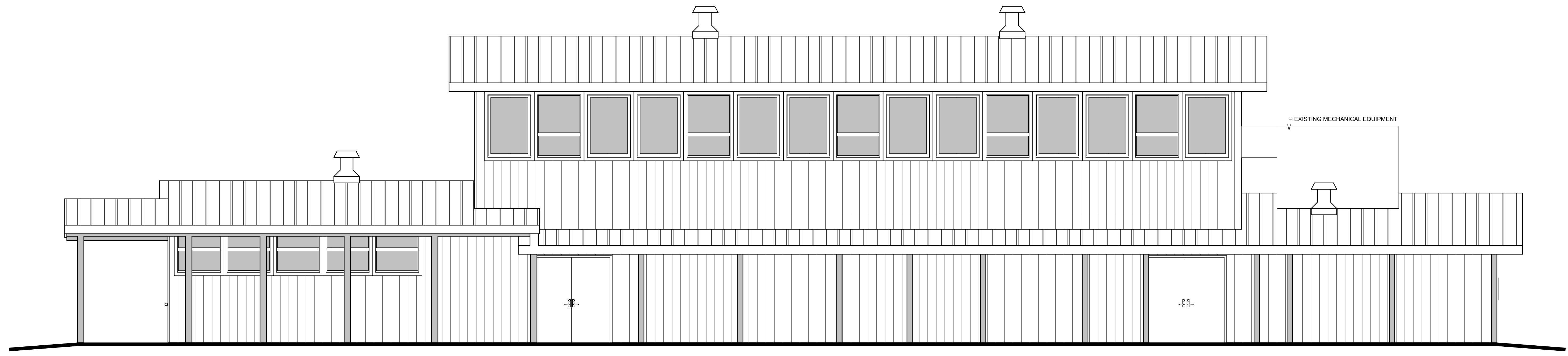
DESIGN & ENGINEERING
 with framework design inc
 2023 6th Street West, Ashland, WI 54806
 Telephone (715) 682-0330 www.csdengineering.com

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| DESIGNED: | L.D. |
| DRAWN: | A.D.E. |
| SCALE: | AS NOTED |
| DATE: | JANUARY 2020 |
| PROJECT NO. | 19-3410 |

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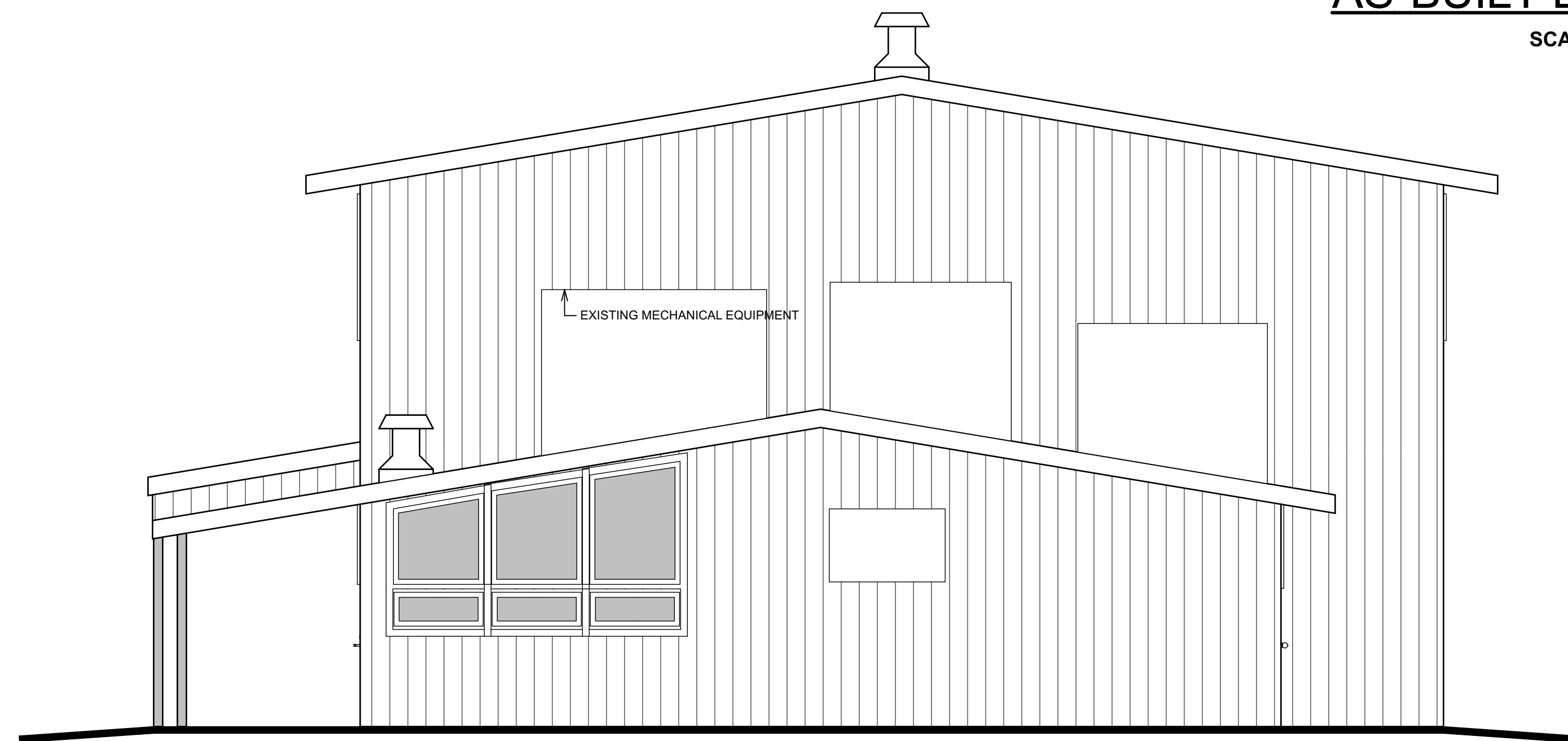
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AD100



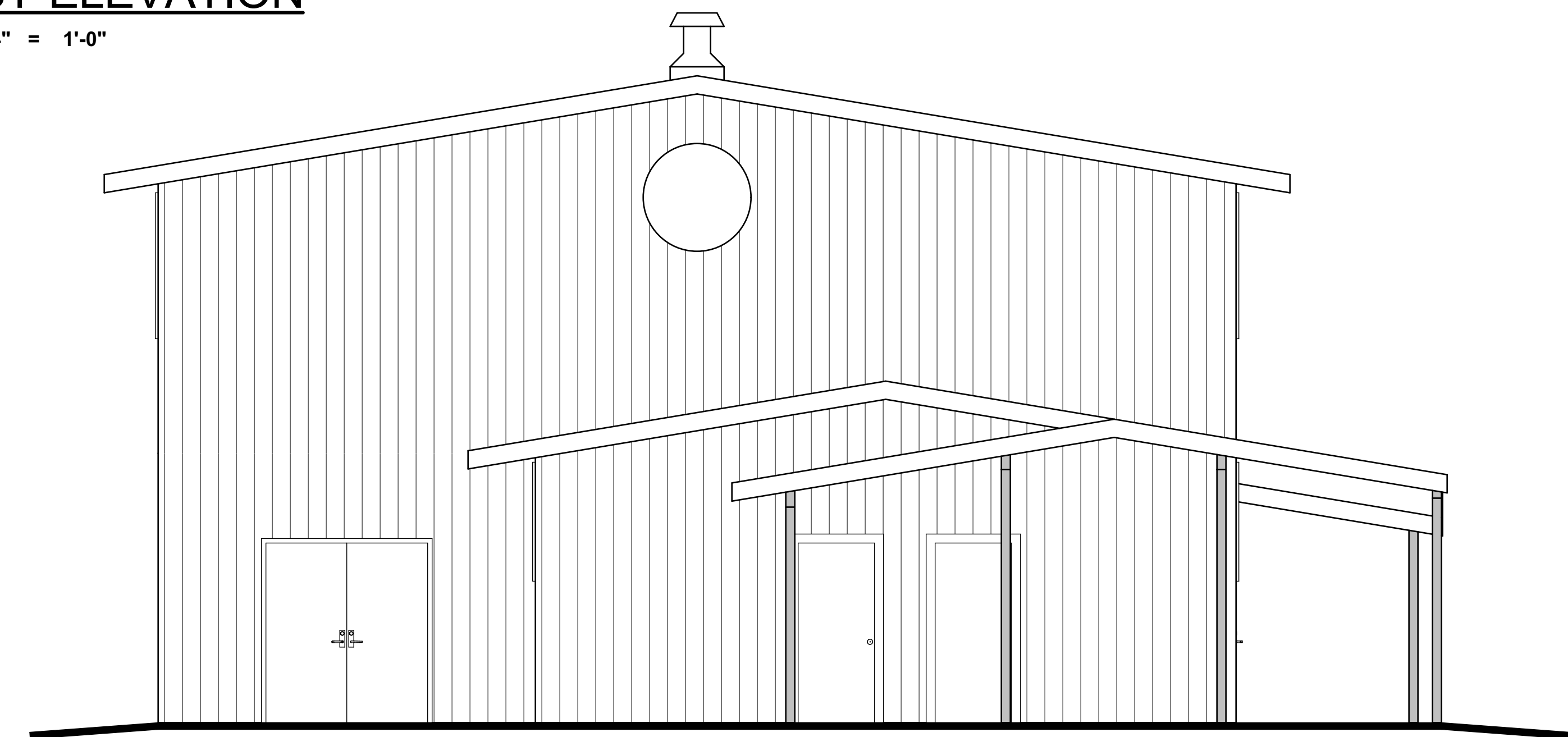
AS-BUILT EAST ELEVATION

SCALE: 1/4" = 1'-0"



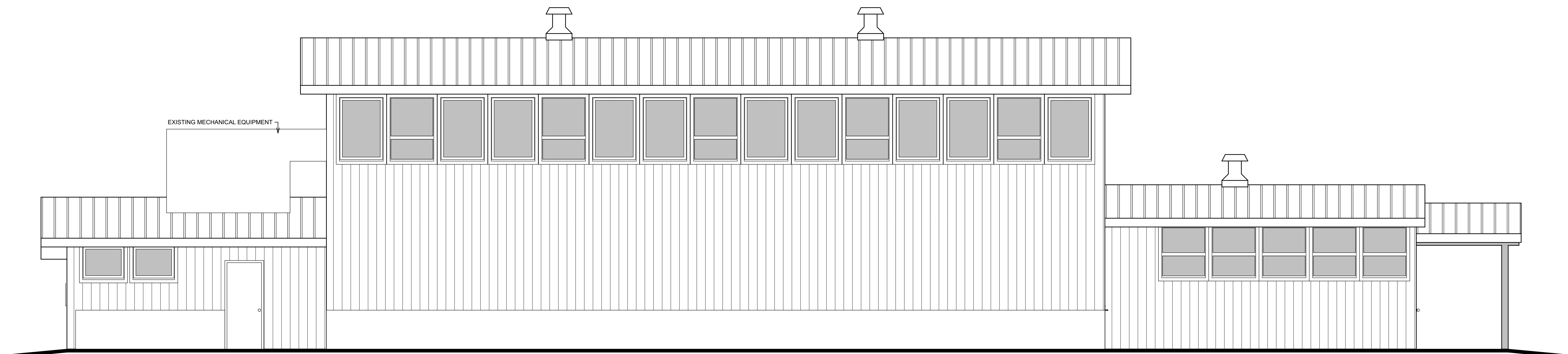
AS-BUILT NORTH ELEVATION

SCALE: 1/4" = 1'-0"



AS-BUILT SOUTH ELEVATIONS

SCALE: 1/4" = 1'-0"



AS-BUILT WEST ELEVATION

SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATION AND ADDITION FOR:

KARUK TRIBE "OLD GYM" BUILDING

64236 SECOND AVE, HAPPY CAMP, CA 95039

AS-BUILT ELEVATIONS

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2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED: L.D.

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SCALE: AS NOTED

DATE: JANUARY 2020

PROJECT NO.

19-3410

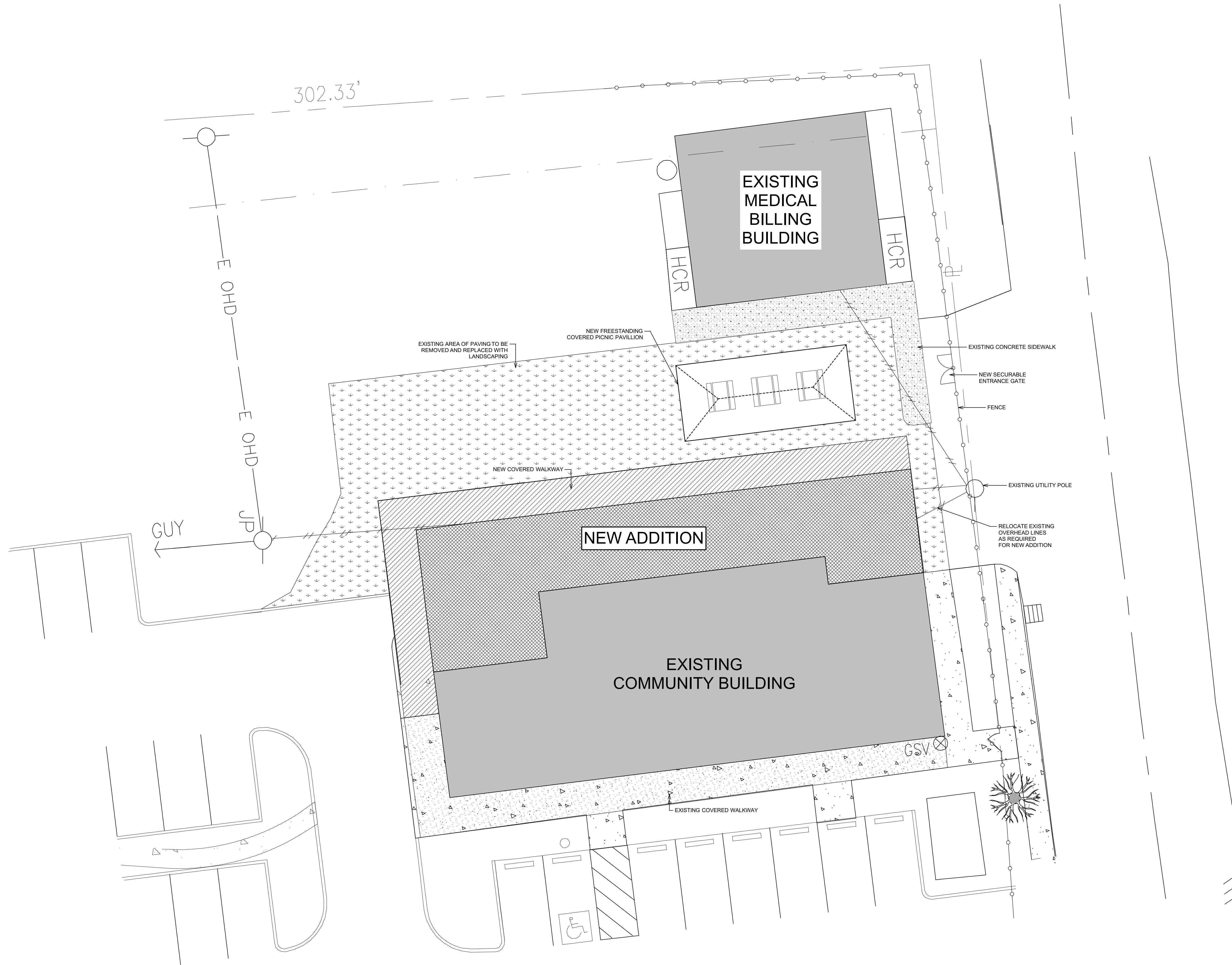
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AD101



NEW SITE PLAN

SCALE: 1" = 10'

PROPOSED RENOVATION AND ADDITION FOR:
KARUK TRIBE "OLD GYM" BUILDING

64236 SECOND AVE, HAPPY CAMP, CA 95039

NEW SITE PLAN

DESIGN & ENGINEERING
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2023 6th Street West, Ashland, WI 54806
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|--------------|----------------|
| DESIGNED: | L.D. |
| DRAWN: | A.D.E. |
| SCALE: | AS NOTED |
| DATE: | JANUARY 2020 |
| PROJECT NO.: | 19-3410 |

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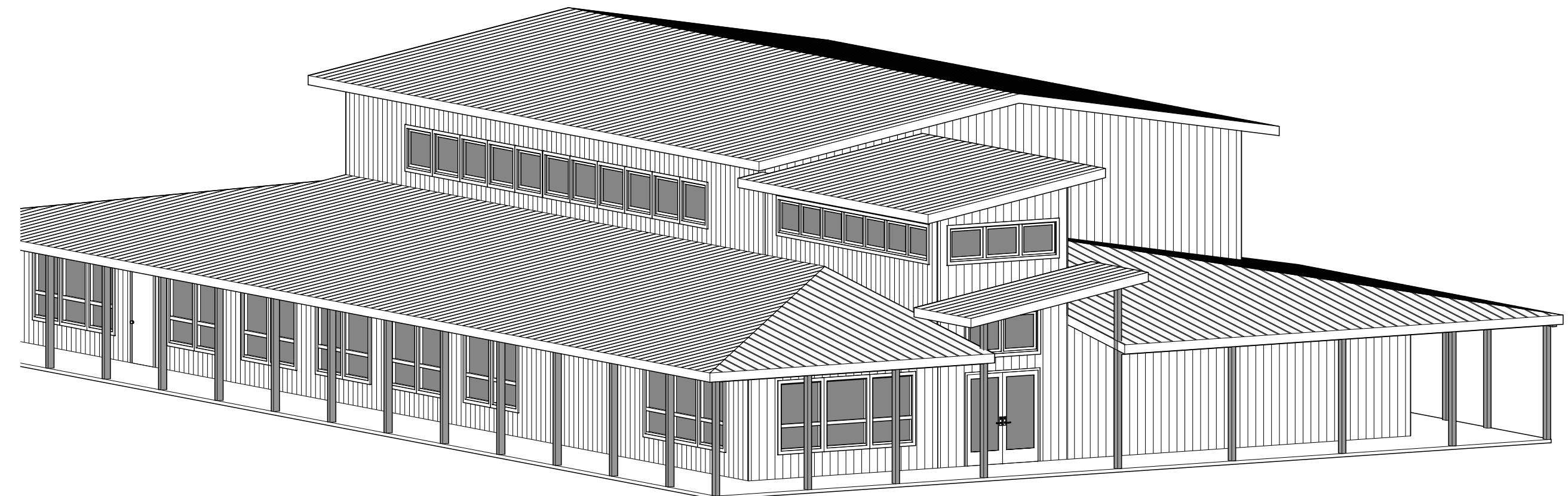
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C100

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NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED RENOVATION AND ADDITION FOR:
KARUK TRIBE "OLD GYM" BUILDING
64236 SECOND AVE, HAPPY CAMP, CA 96039
NEW FLOOR PLAN

DESIGN & ENGINEERING
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C&S
2023 6th Street West, Ashland, WI 54806
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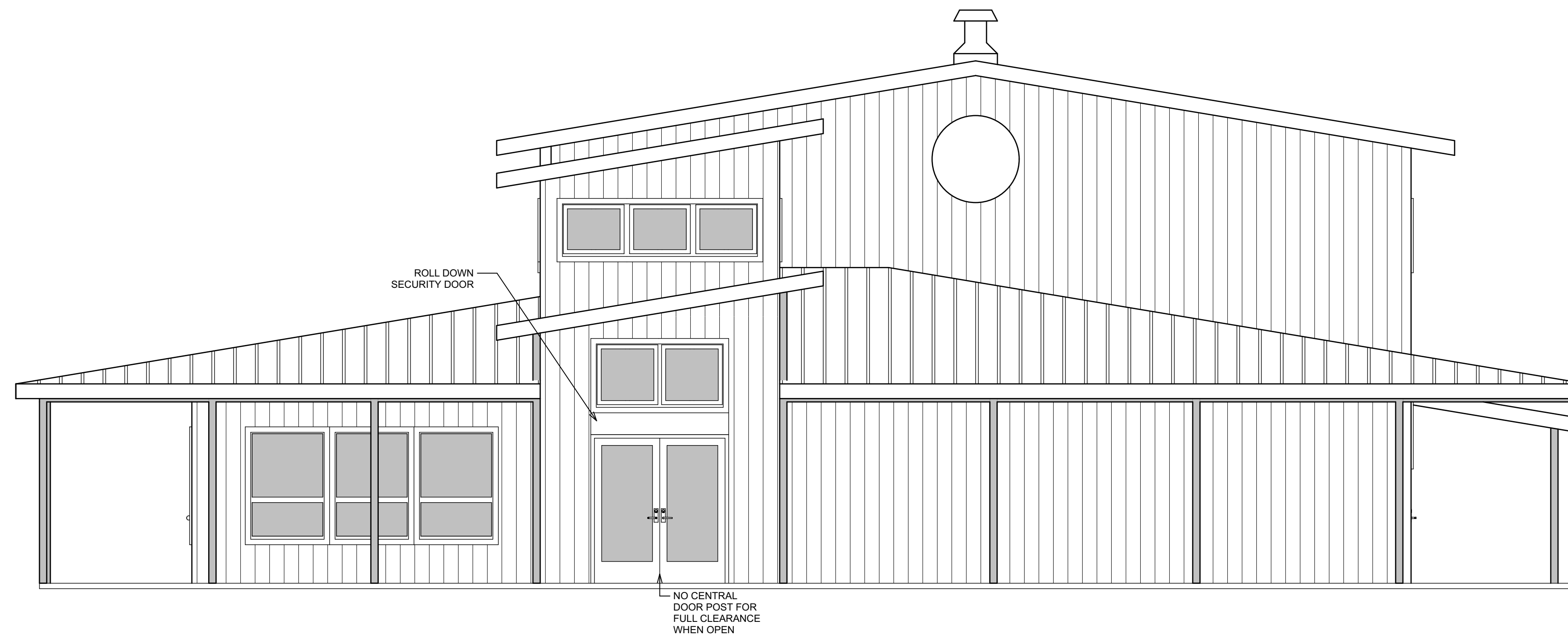
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DRAWN: **A.D.E.**
SCALE: **AS NOTED**
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PROJECT NO.: **19-3410**

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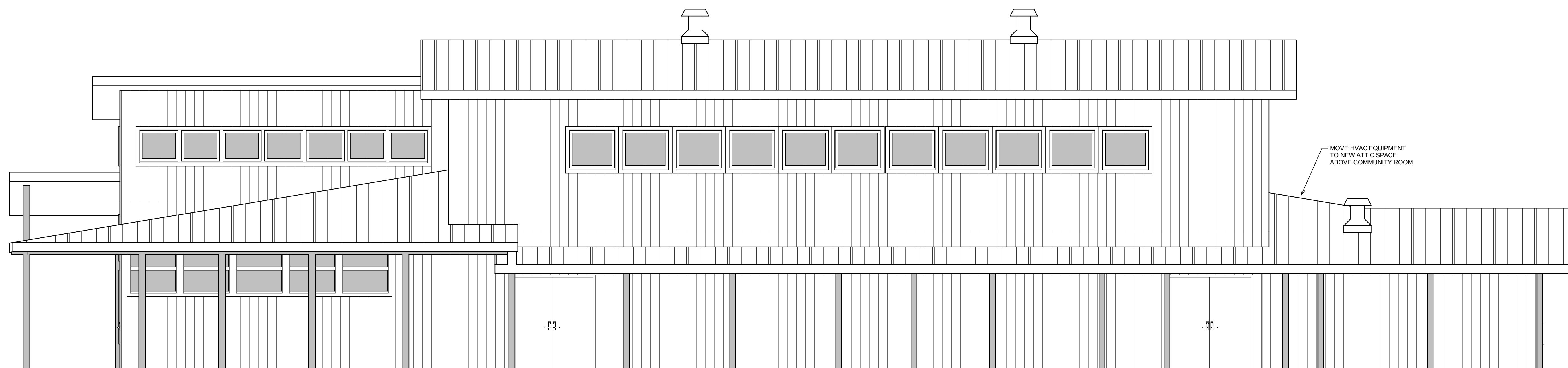
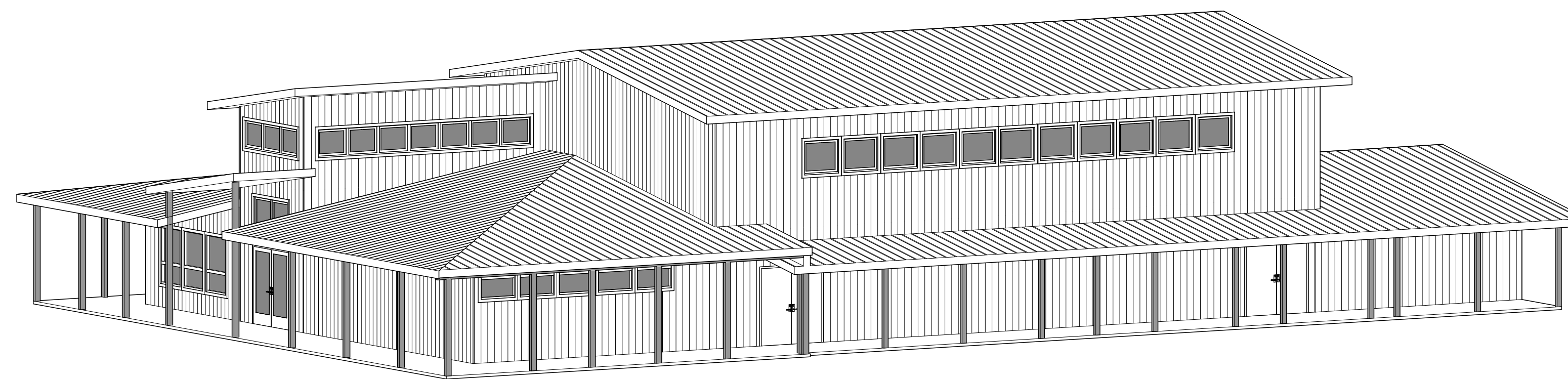
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SHEET NO.: **A100**



NEW SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NEW EAST ELEVATION

SCALE: 1/4" = 1'-0"

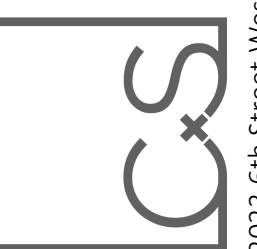
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PROPOSED RENOVATION AND ADDITION FOR:
KARUK TRIBE "OLD GYM" BUILDING

64236 SECOND AVE, HAPPY CAMP, CA 96039

NEW ELEVATIONS

DESIGN & ENGINEERING
 with framework design inc



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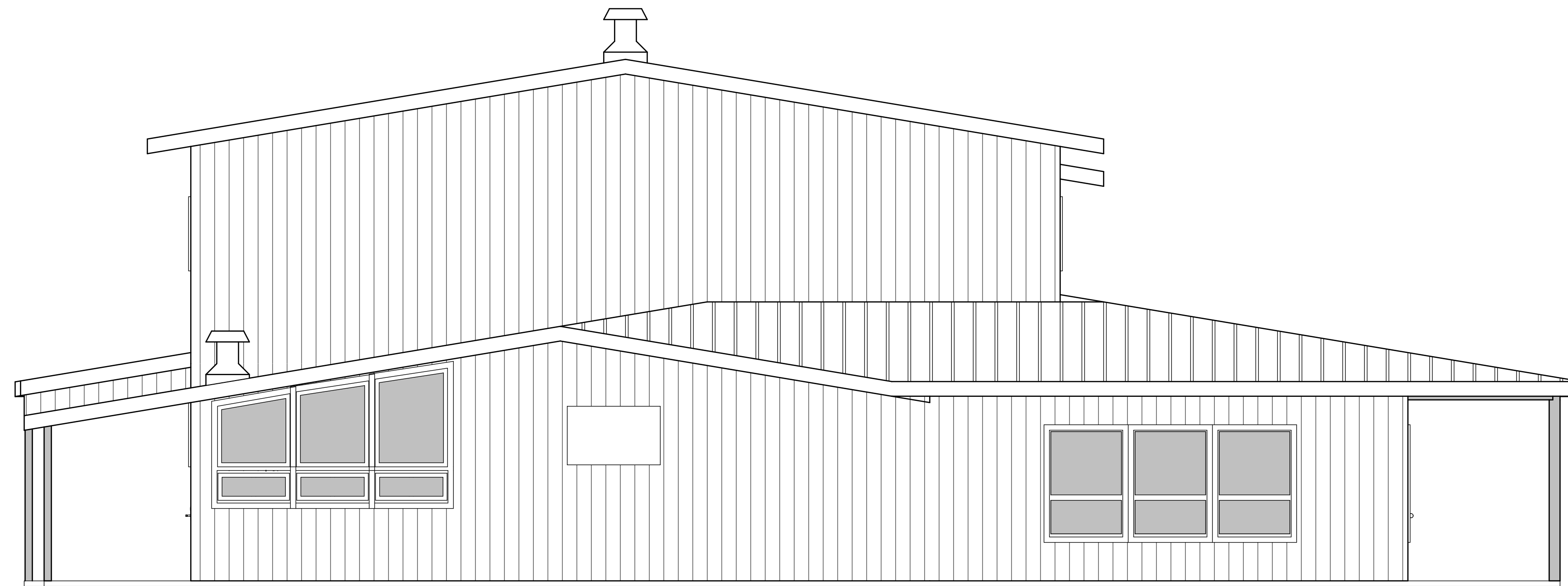
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APPROVED:

NOT FOR CONSTRUCTION OR FINAL PRICING

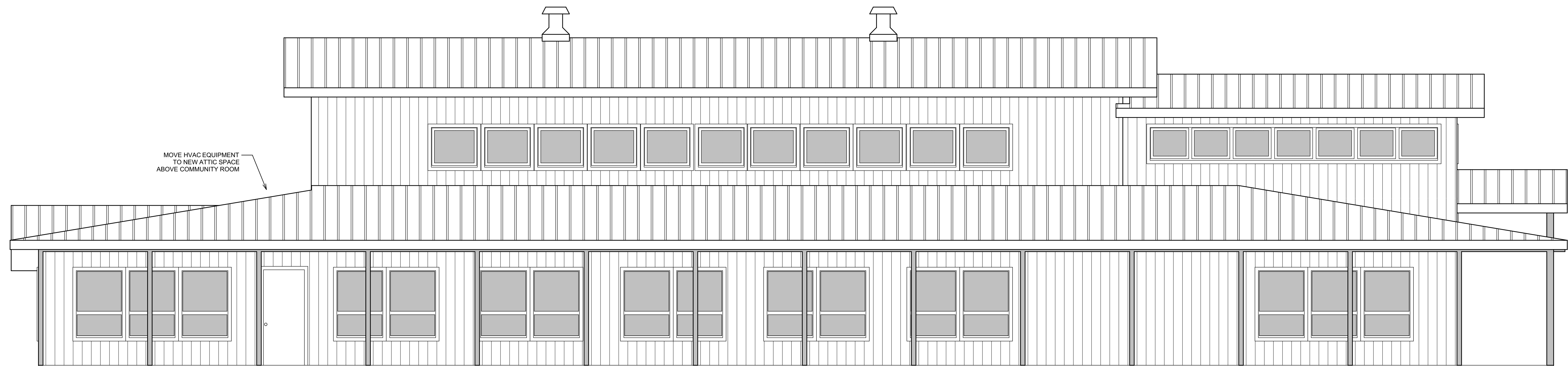
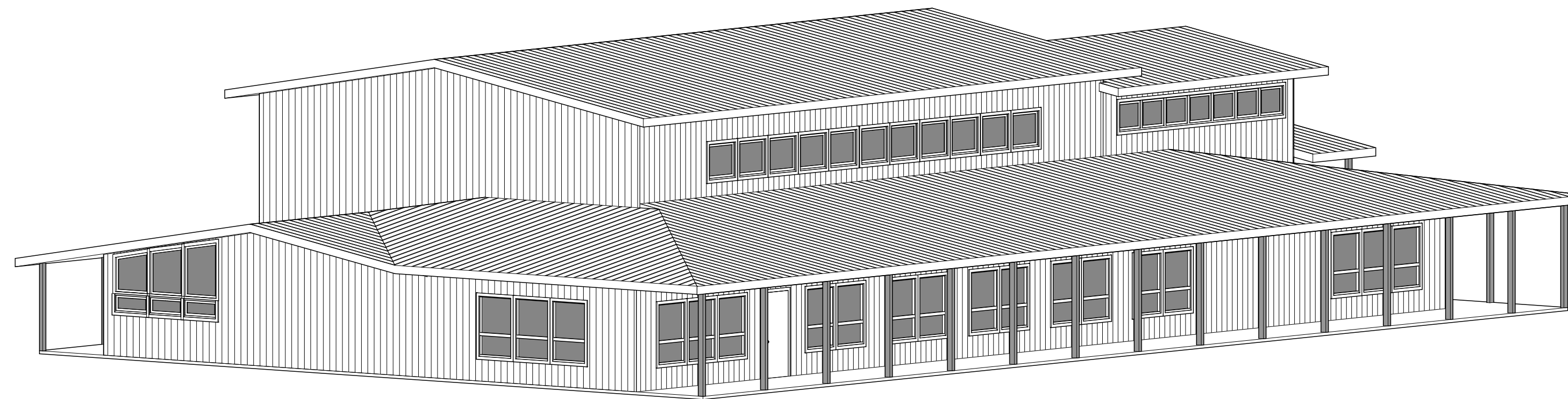
SHEET NO.

A200



NEW NORTH ELEVATION

SCALE: 1/4" = 1'-0"



NEW WEST ELEVATION

SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATION AND ADDITION FOR:

KARUK TRIBE "OLD GYM" BUILDING

64236 SECOND AVE, HAPPY CAMP, CA 95039

NEW ELEVATIONS

DESIGN & ENGINEERING
with framework design inc



2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdengineering.com

DESIGNED: **L.D.**

DRAWN: **A.D.E.**

SCALE: **AS NOTED**

DATE: **JANUARY 2020**

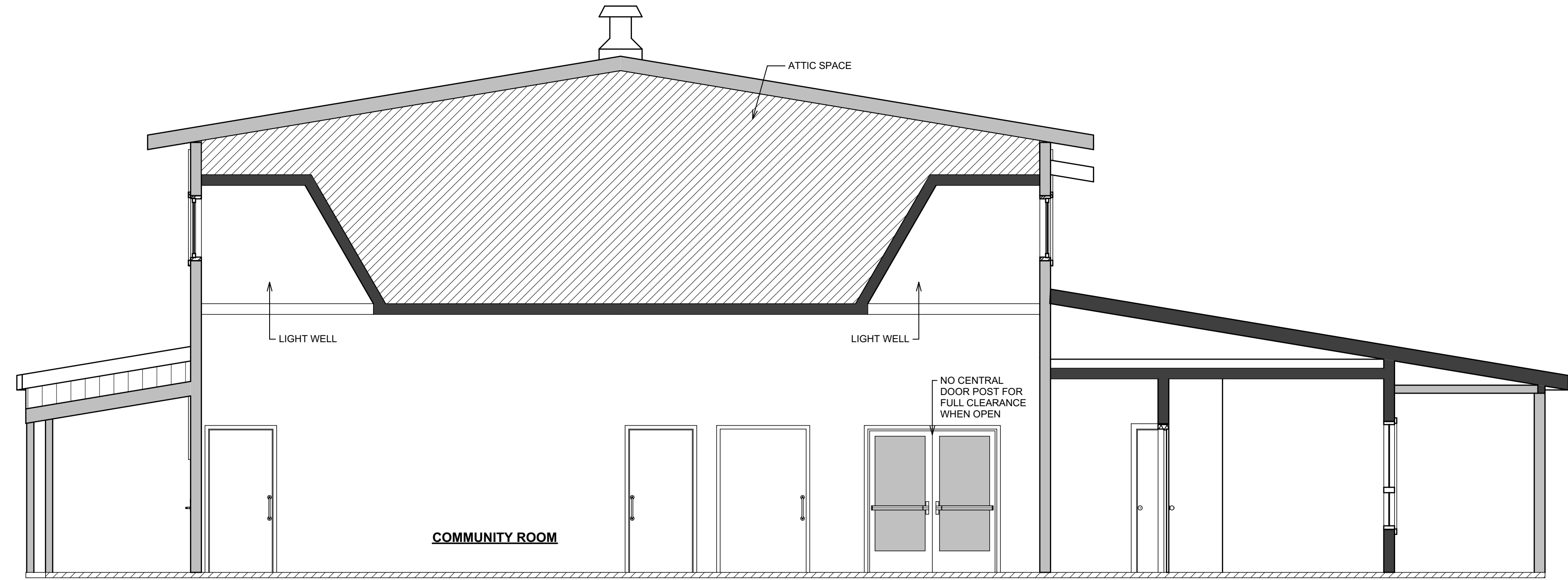
PROJECT NO. **19-3410**

REVISIONS:

APPROVED:

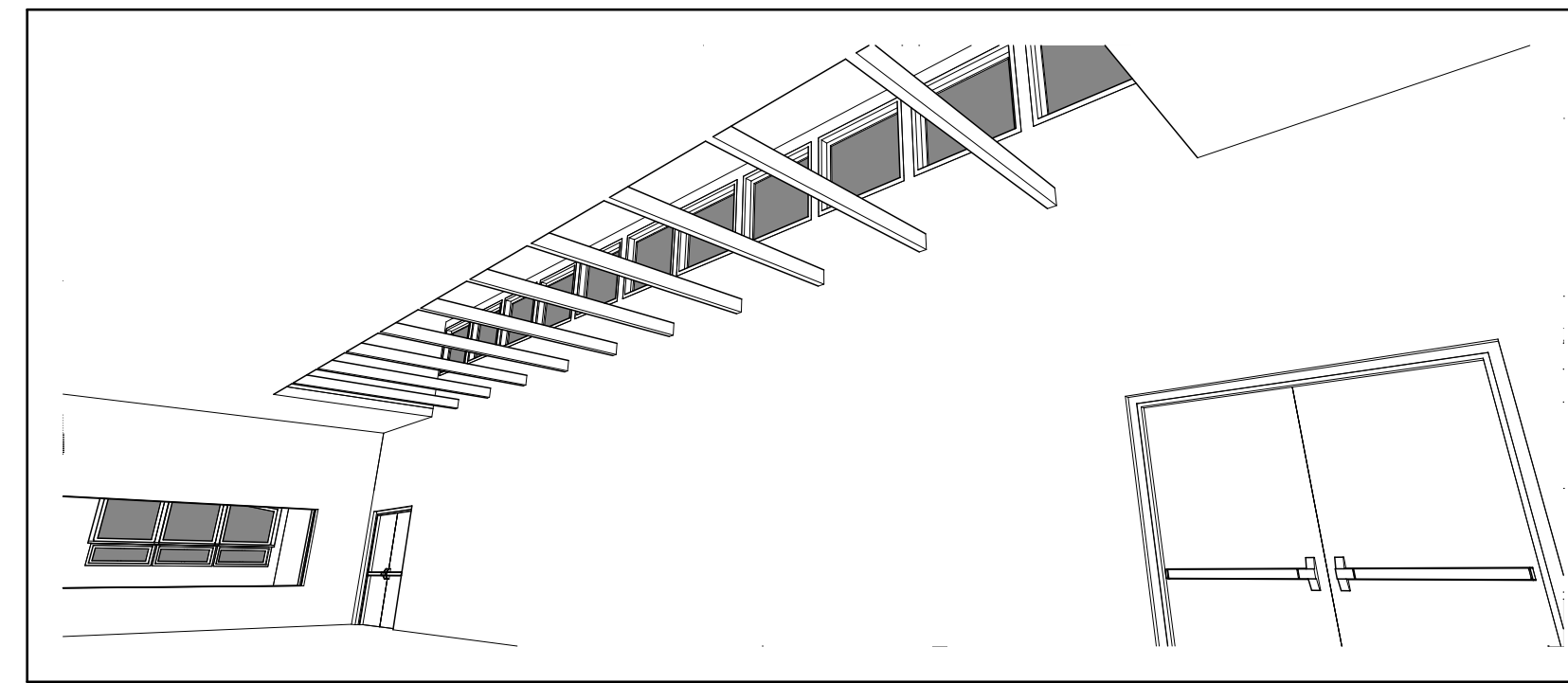
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SHEET NO. **A201**



NEW CROSS SECTION

SCALE: 1/4" = 1'-0"



INTERIOR MODEL VIEW

PROPOSED RENOVATION AND ADDITION FOR:
KARUK TRIBE "OLD GYM" BUILDING
 64236 SECOND AVE, HAPPY CAMP, CA 95039

CROSS SECTION

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DESIGNED: **L.D.**

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SCALE: **AS NOTED**

DATE: **JANUARY 2020**

PROJECT NO.
19-3410

REVISIONS:

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APPROVED:
NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO.
A300